#### 195 District Park Pavilion RFP 119561 - General Contracting Services Addendum 001

Please find below additional information about the 195 District Park pavilion project, including questions and answers from the preproposal site walk, and responses to requests for information (RFI).

Additionally, the following materials are attached:

- 1. A sign-in sheet from the May 23, 2024 pre-proposal site walk.
- 2. Updated civil and site electrical plans.

Please note the response to the RFP is now due on June 27, 2024 at 2:00 PM, following the same submission directions previously provided in the body of the RFP document.

#### May 23, 2024 Pre-Proposal Site Walk Questions and Answers

Q: Is the shade structure pitched?

A: It is flat.

- Q: Will the existing site lighting be relocated?
- A: Existing light poles indicated in bid documents will be stockpiled. Some light poles will be reinstalled on new light pole bases, and remainder will be stored by Owner. New site lighting is also included around the pavilion. Refer to RFP documents for the full scope of the site lighting.
- Q: How will excess soil from ground improvements be handled?
- A: Please refer to the soil management plan included in the RFP documents. The top 12" of existing soil is clean fill on top of a geofabric. Soil under the geofabric can be reused onsite, but cannot be mixed with clean fill and must remain under geofabric.
- Q: Are there any special requirements for groundwater management?
- A: Groundwater remediation is not required and any site dewatering will need to be managed in accordance with standard DEM requirements.
- Q: Who is the Authority Having Jurisdiction (AHJ) for permitting for the project?
- A: The RI Building Code Commission is the AHJ for the Building Permit.
- Q: Is anything notable about the other project permits?
- A: Refer to the conditions of the RIDEM WQC permit included in the bid package. The CRMC Assent, RI Energy gas and electric permits, Narragansett Bay Commission Sewer Connection Permit, and Providence Water Supply Board domestic and fire service permits are forthcoming and will be provided to the Contractor. The Contractor will be responsible for obtaining a Road Opening Permit with the DPW. Building permits will be filed with the State of Rhode Island.
- Q: Is Builders Risk required for this project?
- A: Please refer to insurance requirements included within the RFP.
- Q: Will coordination with the tenants be required?
- A: Yes. Some coordination will be required for placement of underslab utilities. Coordination will also be required with tenant contractors for tenant fitout. Some aspects of the project related to the kitchen are included in this scope, such as the grease trap and some ductwork.
- Q: Who are the tenants?
- A: The Guild and Seven Stars Bakery.
- Q: Are furniture, fixtures, and equipment (FF&E) by others?
- A: Yes. All tenant FF&E is by others.
- Q: Is kitchen equipment provided and installed by the tenant?
- A: Yes
- Q: Is the project prevailing wage?
- A: Yes.

#### 195 District Park Pavilion RFP 119561 - General Contracting Services Addendum 001

- Q: Will the food trucks continue to locate in the plaza of the park?
- A: Food trucks may continue to park in the plaza and should not impact construction. If accomodations are needed, the Contractor may make a request to the project Owner, who also owns and operates the park, to relocate food trucks as needed.
- Q: By when is project completion required?
- A: No specific completion deadline is listed in the RFP, but completion timing is one of the key scoring metrics in the RFP.
- Q: Will there be a new electric source?
- A: Yes. See drawings and revised attached civil and site electrical drawings.
- Q: How are discussions with RI Energy?
- A: Discussion are ongoing with RI Energy.
- Q: Where are bids delivered?
- A: To the lobby of 225 Dyer Street, Providence, RI.
- Q: What is the limit of disturbance?
- A: The limits of disturbance are outlined in the construction documents.

#### Other Owner comments from the pre-proposal walkthrough that are not direct responses to questions:

• More renderings and information about the project can be found at 195 district.com/pavilion

#### Requests for Information (RFIs) Via Email

- Q: Will the sign-in sheet from the pre-proposal walk be provided?
- A: Yes. The sign-in sheet is attached to this addendum.
- Q: We are interested in the project but we are having trouble meeting the current RFP due date of 6/13/24 to turn in a bid. Would it be possible to get an extension till 6/27/24?
- A: Yes, a two-week extension will be granted to 6/27/2024.
- Q: Who is responsible for tel/data/security/access controls wiring and equipment?
- A: This scope should be included in the low-voltage package to be coordinated with the Owner.
- Q: Roofers are indicating that they cannot confirm whether Sarnafil will warrant the roof system as specified, as two types of insulation are called out in the roof spec, and the drawings call out for one that cannot provide those slopes with and make each of the six sides blend into the other.
  - Also, the roof shows a combustible plywood deck, so if we have to change to the other type of insulation specified (in which it might not be possible to slope the different pitches together at each side's hip), it's very possible that the roof manufacturer can't meet the fire rating.
- A: 1. The building construction classification is Type VB. As a result, the roof assembly is not fire rated.
  - 2. Other types of insulation and associated assemblies compatible with, approved by, and warrantied by the PVC roof membrane manufacturer are acceptable. For Sarnafil roofing, any Sarnatherm tapered insulation assembly as approved by Sika would be permitted to achieve the design intent upon review and approval by architect per typical submittal review protocols.
  - 3. RIECC states that roof assemblies require minimum R-30 continuous insulation. Alternative sloped roof assemblies above the structural roof deck as approved by Sika would be permitted to achieve the design intent upon review and approval by architect per typical submittal review protocols.
- Q: Do the perimeter grade beams need GCC support or is it only needed at spread footing locations and under the slab on grade?
- A: GCC is required at spread footings and grade beams per Ground Improvement note 2 S-001.
- Q: What are the actual service loads (DL, LL, transient) for the spread footings (kips) and grade beam footings (klf)?
- A: See S-020 for load maps of loads. We want to achieve allowable bearing pressures stated in note 2 of S-001. Typical column dead/live/wind load for the three types of footings can be provided if needed.
- Q: Plumbing fixture schedule P001 lists WC and UR as by architect, please clarify.
- A: Water closets (toilets) and urinals are noted in the appliance/fixture schedule on sheet A-706.

#### 195 District Park Pavilion RFP 119561 - General Contracting Services Addendum 001

- Q: Is the project schedule still slated to begin July 1st?
- A: The project can begin no earlier than July 1, 2024. A proposed construction schedule is required as part of the proposal submission per the RFP.
- Q: Who owns furnishing and installing the irrigation system shown in the project specifications?
- A: The Owner's sprinkler contractor owns installation of any irrigation, which will not be part of this project.
- Q: Plans/specs make mention of phasing, please clarify?
- A: There is no phasing here. Phasing as noted in the specifications is in regards to the tenant's interior fit out following the completion of the Owner's scope. There may be some overlap in this work that can be coordinated between the Owner and the General Contractor.

#### **Updated Drawings:**

Updated Civil Drawings Dated June 3, 2024 are attached. Updated Electrical Site Drawings Dated June 3, 2024 are attached.

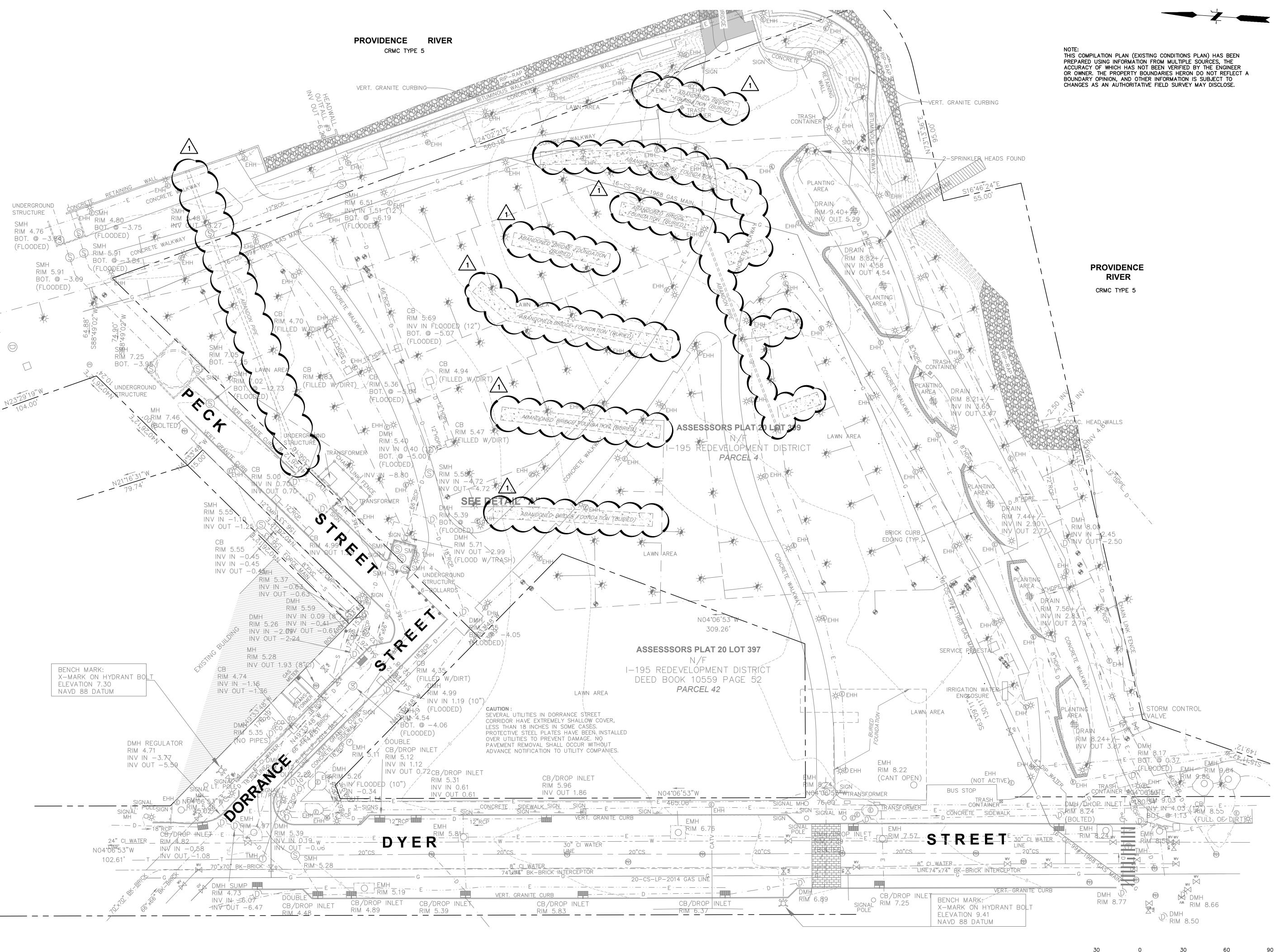
#### **Additional Attachment:**

The sign-in sheet from the May 23, 2024 pre-proposal site walk is attached.

I-195 Redevelopment District 195 District Park Pavilion Pre-Proposal Site Walk Sign-in Sheet

	Name	Company Name	Phone #	Email	
1.	Daniel Zunno	Bently	631-860-8566	DZVMADONILONUSA.10A	
2.	Nich Marsili	RICOP	401-782-7155	NMarsili@riconusa.com	
3.	CHI YIK	CDE	617 848433	(7/E@ Shawmet.	n
4.	PATITICK DOWING	FUSS+ O'NEIL	401-464-1846	poowling a Fando.com	
5.	Bob Danderens of	EW BURMAN INC.	401-738-5400	estinating @ ewburman.com	
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Architecture 1 Willoughby Square
Research Suite 1200
Office LLC Brooklyn ny 11201
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RMA Environmental, LLC Geotechnical Engineer	
Wickford, RI	401.230.7805
Agency Landscape + Planning Landscape Architect	
Cambridge, MA	617.512.8702
<b>Lighting Workshop</b> Lighting Design	
Brooklyn, NY	212.796.6510
<b>195 District</b> Developer/Owner	
Providence, RI	401.400.4362
Colliers Owner Representative	

Providence, RI

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401.234.1055

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Revision	ssue
5.10.2024	00% CD Set
6.3.2024	ADDENDUM

# 195 District Park Pavilion

195 District Park
120 Peck St,
Providence, RI 02903

Drawing

EXISTING

EXISTING
CONDITIONS PLAN

 Project
 2214

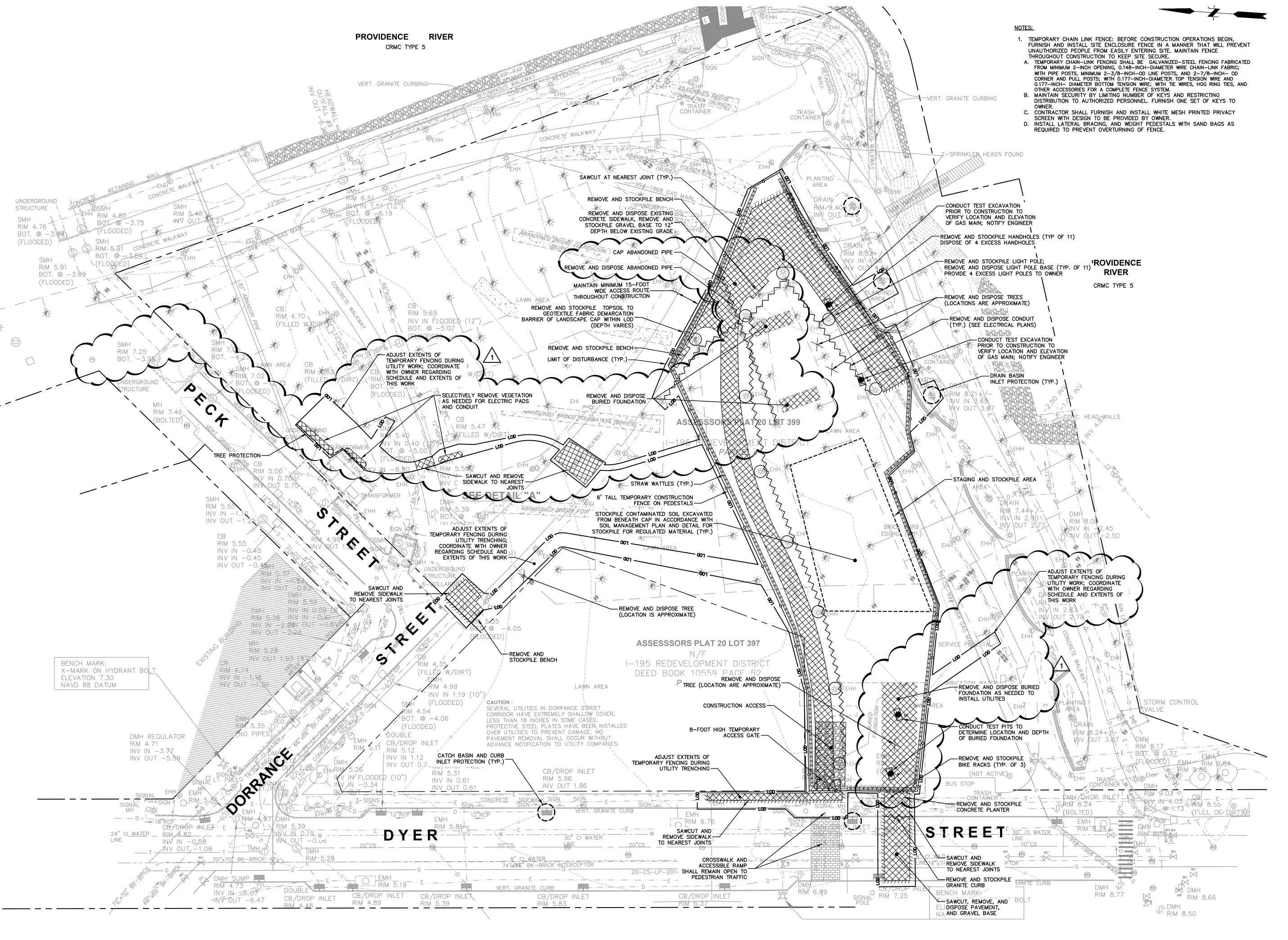
 Drawn by
 Author

 Date
 4.12.2024

 Scale
 1"= 30"

C-100

SCALE: 1" = 30'



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Issue	Revision
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ADDENDUM	6.3.2024

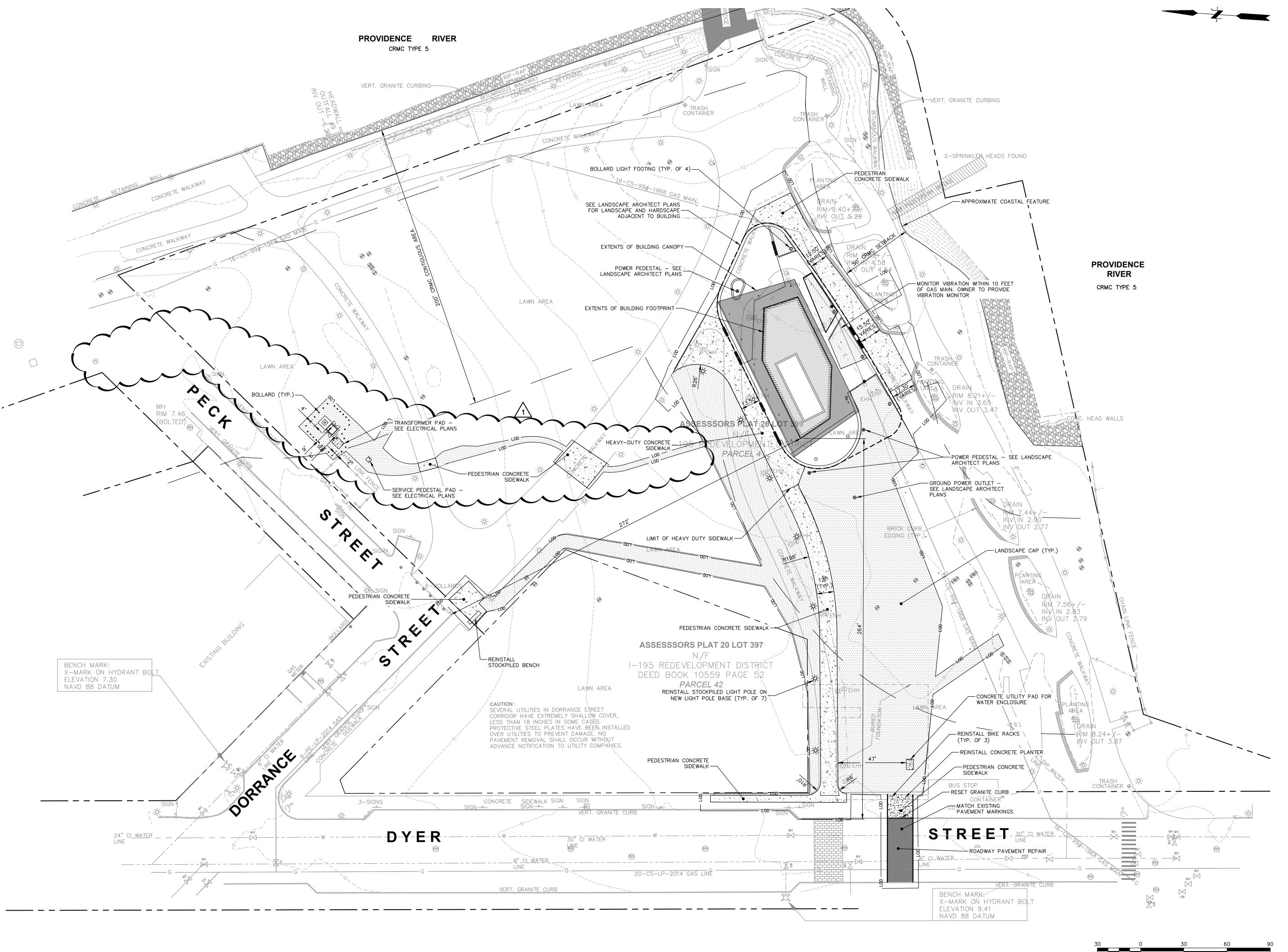
## **195 District Park Pavilion**

195 District Park 120 Peck St, Providence, RI 02903

SCALE: 1" = 30'

Drawing SITE PREPARATION

PLAN 4.12.2024 1"= 30'



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 6.3.2024

# 195 District Park Pavilion

195 District Park
120 Peck St,
Providence, RI 02903

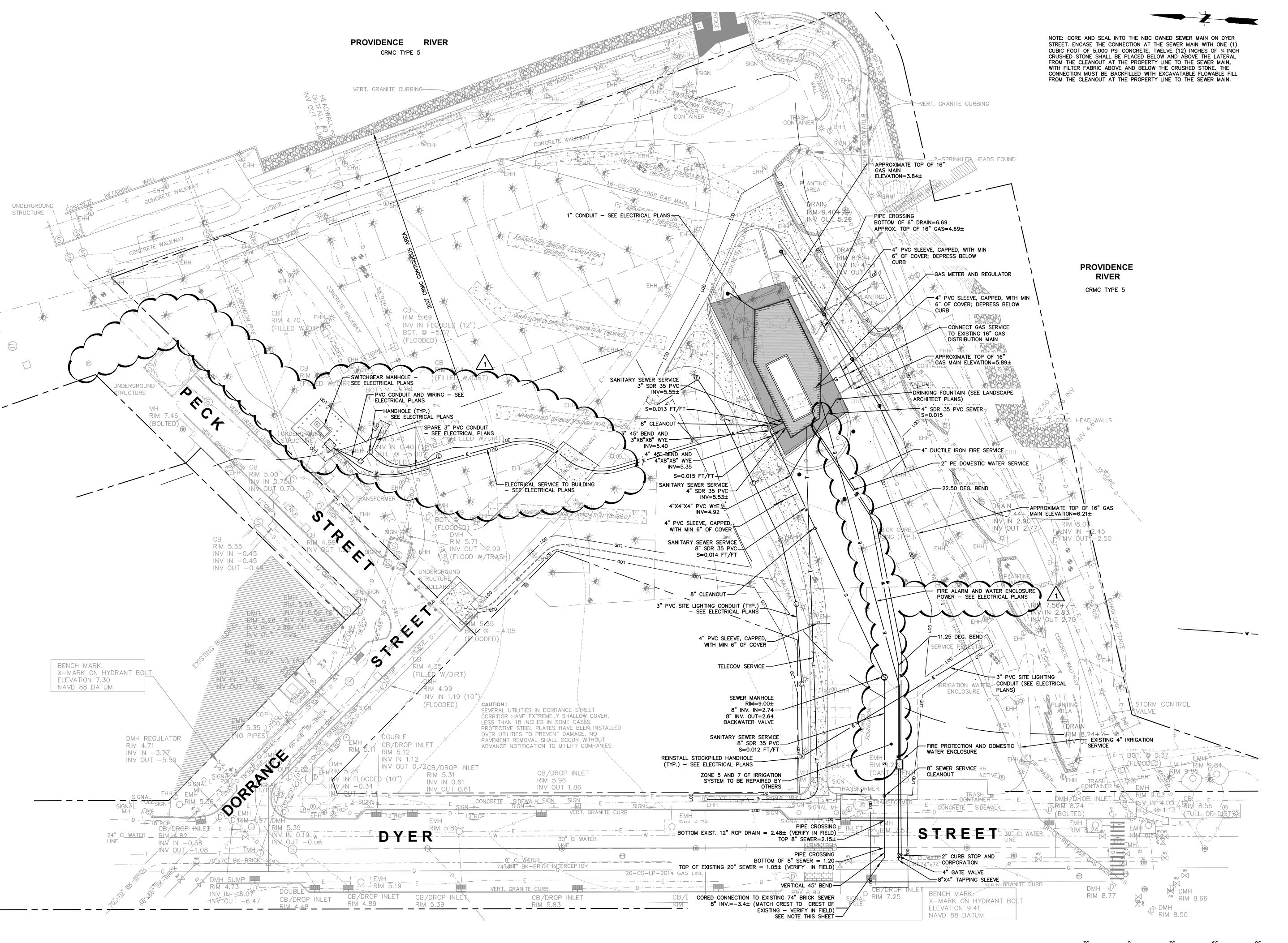
Drawing

SITE PLAN

Project
Drawn by

C-300

SCALE: 1" = 30'



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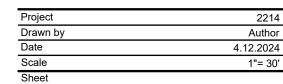
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# 195 District Park Pavilion

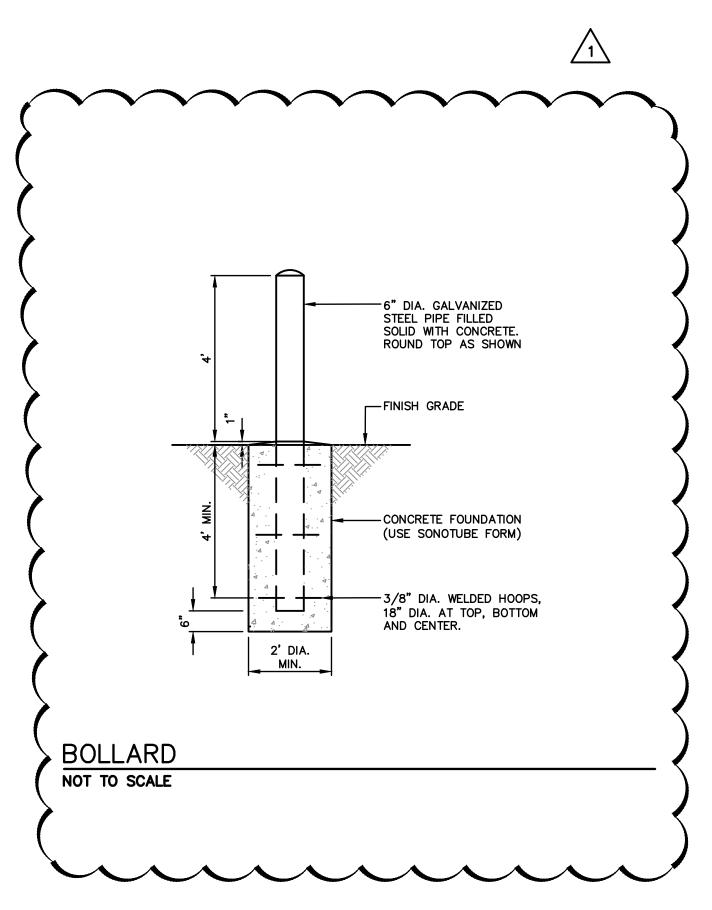
195 District Park 120 Peck St, Providence, RI 02903

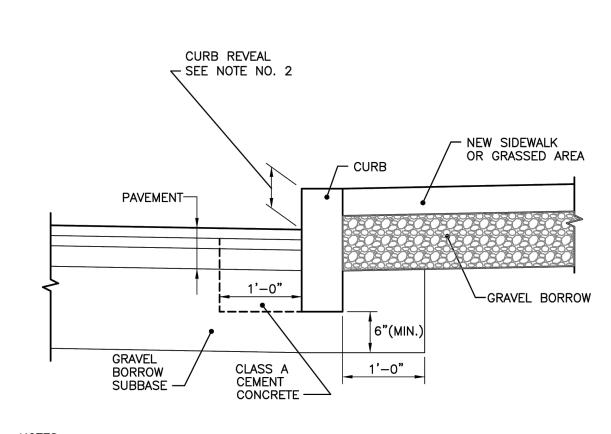
UTILITY PLAN



C-500

SCALE: 1" = 30'





NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS. 2. NEW CURBING CONSTRUCTION SHALL BE SET AT A 6 INCH REVEAL OR AS INDICATED ON PLANS OR DIRECTED BY PROVIDENCE DPW. NEW CURBING INSTALLED ADJACENT TO EXISTING CURBING SHALL MATCH THE EXISTING REVEAL OR A MINIMUM OF 4 INCHES, WHICHEVER IS GREATER. IF ADJACENT EXISTING REVEAL IS LESS THAN 4 INCHES, THE FIRST SECTION OF NEW CURB SHALL TRANSITION TO 4" REVEAL,

-POLYURETHANE JOINT

\_ 1/2" JOINT FILLER

- CONTROL JOINT, 5'-0" O.C.

OR UNLESS OTHERWISE

DIRECTED

CONTROL JOINT

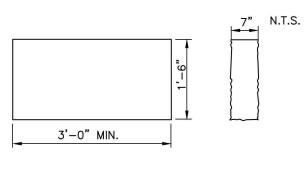
— BACKER ROD

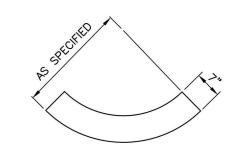
COMPOUND

SEALANT TO A DEPTH OF 1"

CURB SETTING DETAIL (7.6.0 P)

NOT TO SCALE





1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE RI STANDARD SPECIFICATIONS.

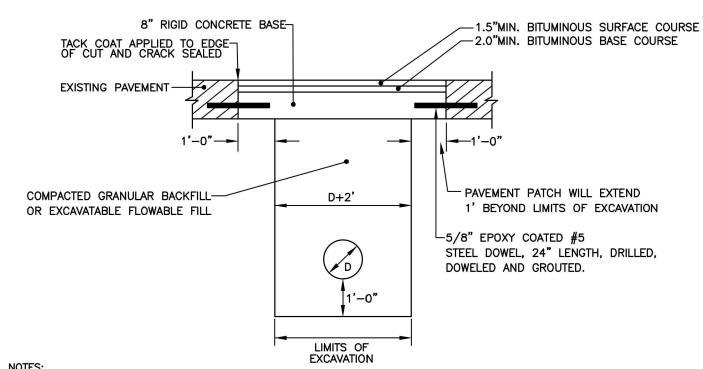
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE SAWCUT OR QUARRY SPLIT. 3. MINIMUM LENGTH OR CIRCULAR PIECES TO BE 3'-0".

4. CIRCULAR CURB IS REQUIRED ON CURVES AS INDICATED. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.

5. CURB TO BE SET PER PROVIDENCE CURB SETTING DETAIL.

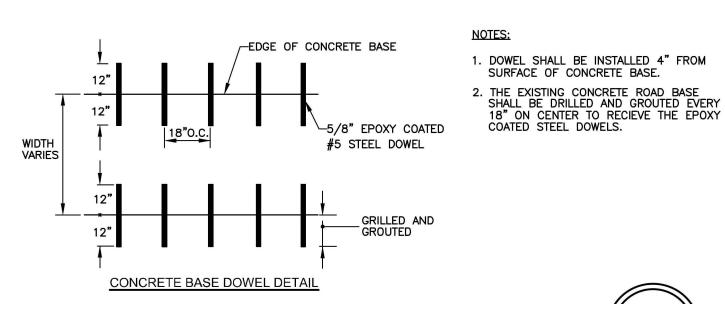
GRANITE CURB - STRAIGHT AND CIRCULAR (PROVIDENCE STD.7.3.0 P)

NOT TO SCALE



CONCRETE ROAD BASE MUST BE RESTORED TO THE EXISTING DEPTH OR A MINIMUM OF 8 INCHES. A MINIMUM
OF 3.5 INCHES OF BITUMINOUS CONCRETE SURFACE COURSE MEETING RIDOT SPECIFICATIONS, SECTION 401
SHALL BE PLACED OVER BASE.

- 2. 8 INCH RIGID CONCRETE BASE SHALL BE TYPE XX (28 DAY -4000 PSI) PER RIDOT SPECIFICATIONS, SECTION 601.
- 4. GRANULAR SUBGRADE MATERIAL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR DENSITY (AASHTO T80), MEETING RIDOT SPECIFICATIONS, SECTION 301.
- 5. EXCAVATABLE FLOWABLE FILL (CONTROLLED DENSITY FILL, CDF) SHALL ADHERE TO RIDOT SPECIFICATIONS, SECTION 603. 6. IF EXCAVATION IS ON A PROTECTED STREET, THE REMAINING ROADWAY OUTSIDE THE TRENCH TO THE NEAREST CURB SHALL BE MILLED 1.5 INCHES WITH A 1.5 INCH BITUMINOUS CONCRETE SURFACE OVERLAY. THE JOINTS SHALL BE SEALED USING INFRARED TECHNOLOGY. THE LENGTH OF THE NEW PAVED AREA MUST BE A MINIMUM OF 10 FEET TO ALLOW FOR PROPER COMPACTION.
- 7. IF EXCAVATION IS ON NON PROTECTED STREET, AND THE DISTANCE FROM EDGE OF EXCAVATION TO EDGE OF ROADWAY IS TWO FEET OR LESS, THE REMAINING AREA TO SUCH EDGE OF ROADWAY SHALL BE REMOVED AND REPLACED IN CONJUNCTION WITH THE PERMANENT PAVEMENT RESTORATION.



PERMANENT ROADWAY RESTORATION (PROVIDENCE STD. 60.3.0 P)

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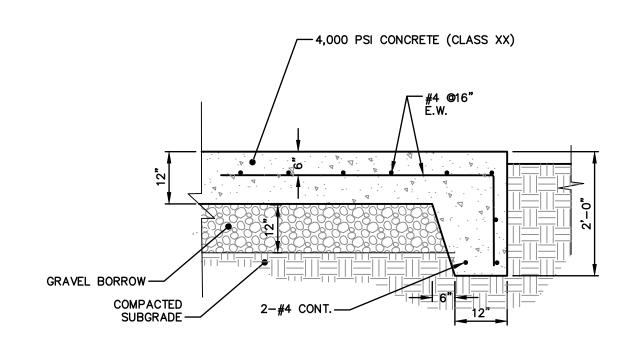
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## - CEMENT CONCRETE (CLASS XX) GEOGRID — GRAVEL BORROW --GRAVEL BORROW COMPACTED SUBGRADE

1. GEOGRID SHALL BE TENSAR TRIAXIAL TX GEOGRID.

- 2. UNLESS OTHERWISE NOTED ON LANDSCAPE ARCHITECT PLANS, SEE "PEDESTRIAN CONCRETE SIDEWALK" DETAIL FOR JOINT TYPE AND SPACING.
- 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
- 4. UNSUITABLE MATERIAL WITHIN SUBGRADE SHALL BE REMOVED AND REPLACED WITH GRAVEL BORROW.
- 5. CROSS-SLOPE VARIES. SEE GRADING PLAN.
- 6. COMPACT GRAVEL BORROW TO 95% MODIFIED PROCTOR.
- 7. GRAVEL BORROW SHALL BE CLEAN FILL IN ACCORDANCE WITH THE REMEDIAL ACTION WORK PLAN AND SOIL MANAGEMENT PLAN.
- 8. MATCH COLOR AND APPEARANCE TO ADJACENT PEDESTRIAN CONCRETE SIDEWALK.

HEAVY DUTY CONCRETE SIDEWALK NOT TO SCALE



CONCRETE UTILITY PAD NOT TO SCALE

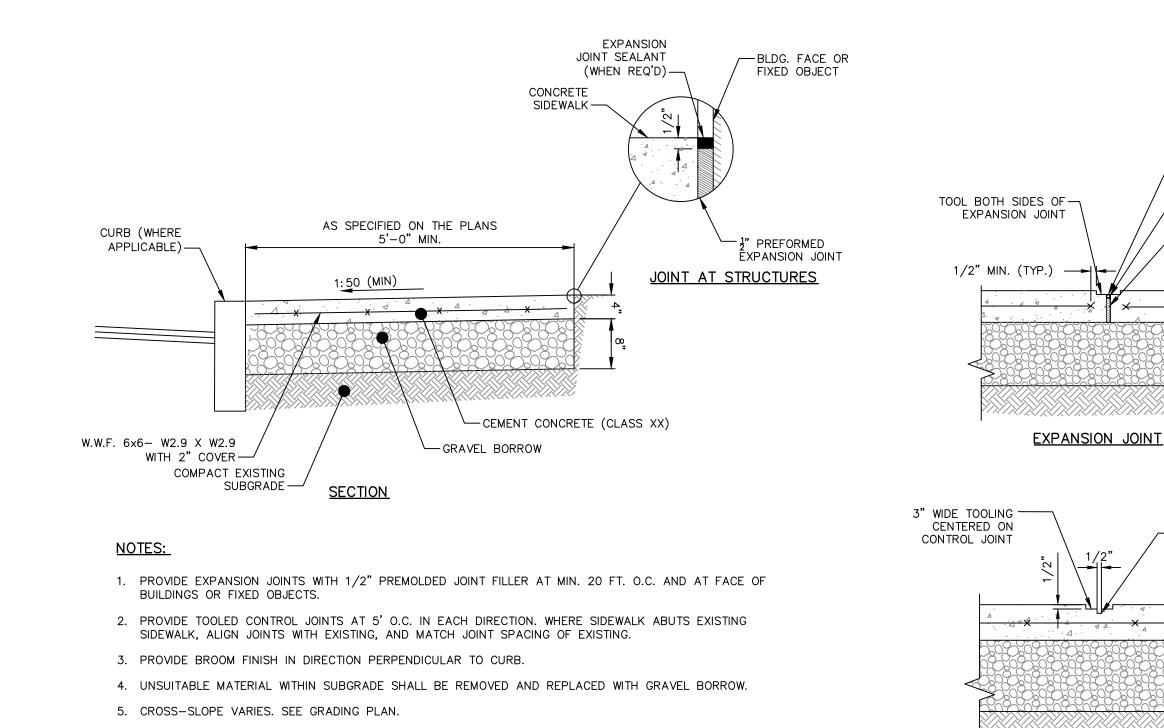
# 5.10.2024

## **195 District Park Pavilion**

120 Peck St, Providence, RI 02903 Drawing **DETAILS** 

195 District Park

4.12.2024 AS NOTED



6. COMPACT GRAVEL BORROW TO 95% MODIFIED PROCTOR.

NOT TO SCALE

PEDESTRIAN CONCRETE SIDEWALK

7. GRAVEL BORROW SHALL BE CLEAN FILL IN ACCORDANCE WITH THE REMEDIAL ACTION WORK PLAN AND

## **ABBREVIATIONS**

MAIN CIRCUIT BREAKER

MANUFACTURER

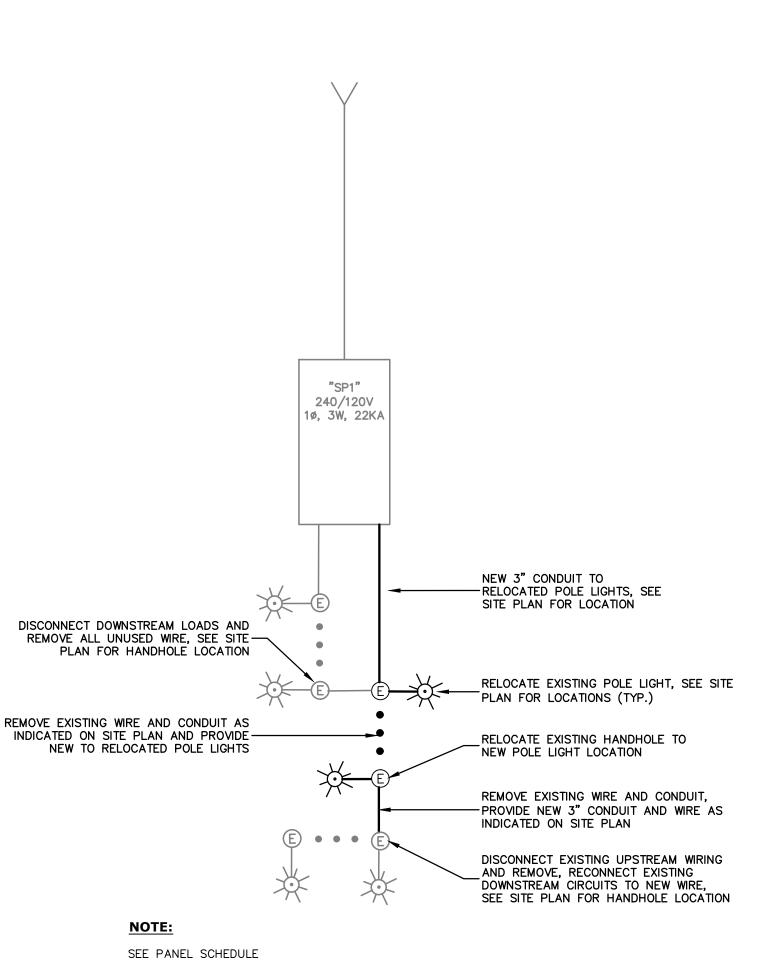
MAIN SWITCHBOARD

MAIN LUG ONLY

MOUNTED

MOTOR CONTROL CENTER

•			
A ACC AFF AFG AIC	AMPERE AIR COOLED CONDENSER ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AMPERE INTERRUPTING CURRENT AUTOMATIC TRANSFER SWITCH AMERICAN WIRE GAUGE	NC NEC NF NIC NL NO NTS	NORMALLY CLOSED  NATIONAL ELECTRICAL CODE  NON-FUSED  NOT IN CONTRACT  NIGHT LIGHT  NORMALLY OPEN  NOT TO SCALE
AWG BFG	BELOW FINISHED GRADE	OC OFCI	ON CENTER OWNER FURNISHED CONTRACTOR INSTALLED
C CAT CB CKT CT CU	CONDUIT CATALOG CIRCUIT BREAKER CIRCUIT CURRENT TRANSFORMER COPPER	Ø P PC PCP PF PH	PHASE POLE PLUMBING CONTRACTOR PUMP CONTROL PANEL POWER FACTOR PHASE
DWG DS	DRAWING DISCONNECT SWITCH	PL PNL PNLBD	PROPERTY LINE PANEL PANELBOARD
EBU EC ECB EM	EMERGENCY BATTERY UNIT ELECTRICAL CONTRACTOR ENCLOSED CIRCUIT BREAKER EMERGENCY	PRI PT PVC	PRIMARY PRIMARY TRANSFORMER POLY VINYL CHLORIDE
EQUIP ETD ETR ETRL ETRP EX	EQUIPMENT EXISTING TO BE DEMO'D EXISTING TO REMAIN EXISTING TO BE RELOCATED EXISTING TO BE REPLACED EXISTING	R+D R+R RGS RM RECEP RTU	REMOVE AND DISPOSE REMOVE AND REPLACE RIGID GALVANIZED STEEL RIGID METAL RECEPTACLE ROOF TOP UNIT
FT FHP FLA G	FOOT FRACTIONAL HORSE POWER FULL LOAD AMPS	SE SEC SPD ST SWBD	SERVICE ENTRANCE SECONDARY SURGE PROTECTION DEVICE SHUTTURE
GC GFI GND	GROUND GENERAL CONTRACTOR GROUND FAULT CIRCUIT INTERRUPTER GROUND	TBB TEL TR TYP	TELEPHONE BACKBOARD TELEPHONE TAMPER RESISTANT
HP	HORSE POWER		TYPICAL
IES	ILLUMINATING ENGINEERING SOCIETY	UG UH UL UON	UNDERGROUND UNIT HEATER UNDERWRITER LABORATORIES
JB	JUNCTION BOX	UNO	UNLESS OTHERWISE NOTED UNLESS NOTED OTHERWISE
KCMIL KW KVA KVAR	ONE THOUSAND CIRC. MILS KILO-WATT KILO-VOLT AMPERE KILO-VOLT AMPERE REACTIVE	V VAC VAR VDC VFD	VOLT VOLTS ALTERNATING CURRENT VOLT AMPS REACTIVE VOLTS DIRECT CURRENT VARIABLE FREQUENCY DRIVE
LTG	LIGHTING	VIF	VERIFY IN FIELD
MC MCA MCB	METAL CLAD MINIMUM CIRCUIT AMPACITY MAN CIRCUIT PREAMER	W WG	WATT WEATHERPROOF

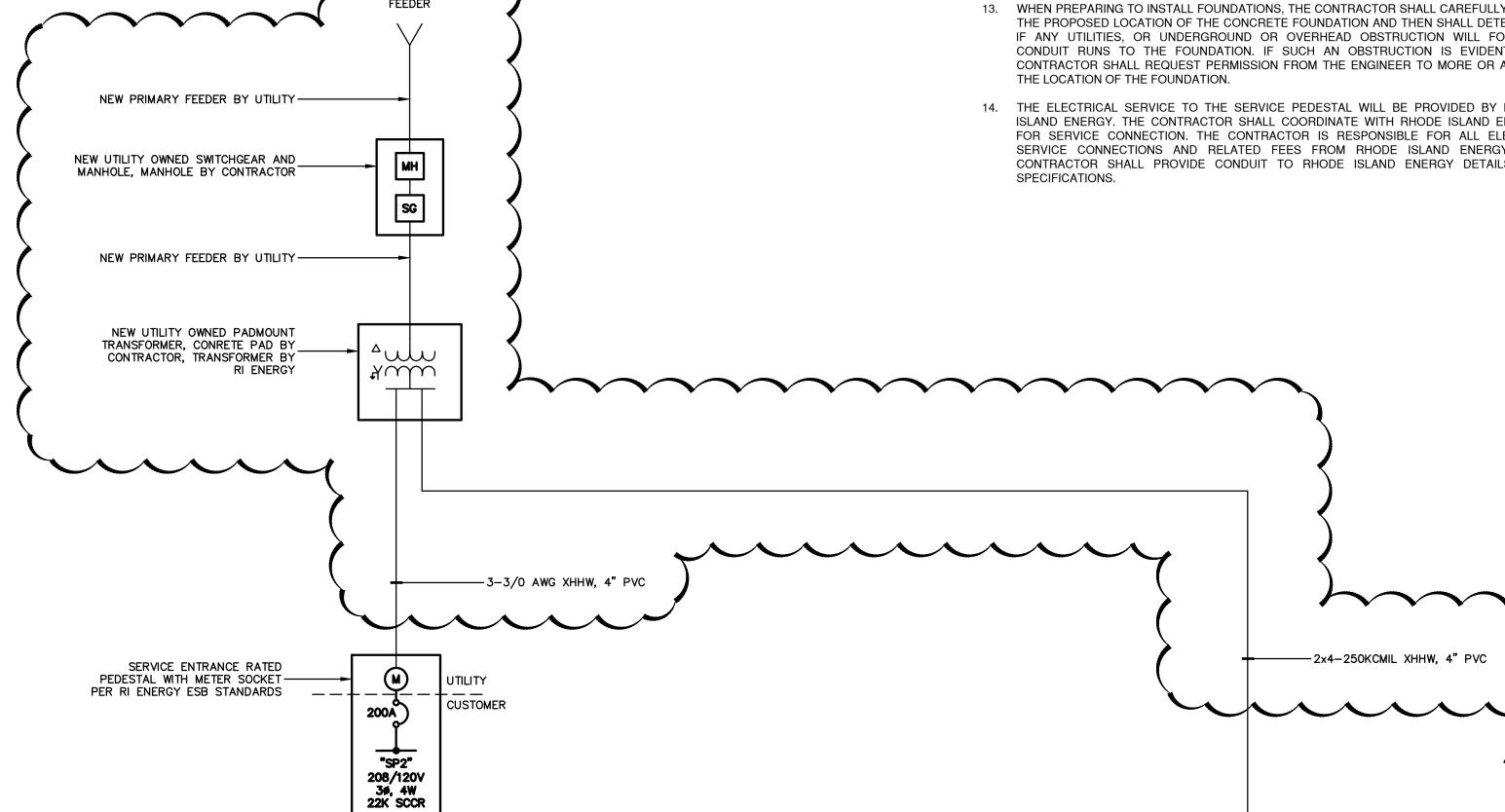


#### EXISTING PEDESTAL "SP1" ONE LINE DIAGRAM NOT TO SCALE

#### **ELECTRICAL LEGEND**

#### REFERENCE TAGS SINGLE LINE DIAGRAM SYMBOLS KEY NOTE REFERENCE, REFER TO KEYED SHEET NOTES INCOMING UTILITY CONNECTION WIRE/CONDUIT TAG, REFER TO WIRING SCHEDULE CIRCUIT BREAKER XXX ELECTRICAL EQUIPMENT TAG GROUND POWER TRANSFORMER; VOLTAGE, KVA, AND CONNECTION TYPES AS NOTED UTILITY METER **CONNECTION TYPES:** DELTA WYE WYEG OPEN DELTA LINE TYPES **EXISTING** SITE SYMBOLS EXISTING RI DOT STANDARD TYPE A HANDHOLE —— — DEMO NEW RI DOT STANDARD TYPE B HANDHOLE ———**SL**—— SITE LIGHTING BRANCH CIRCUITS PAD-MOUNTED PEDESTAL UTILITY SECONDARY FEEDERS EXISTING LIGHT POLE WITH ORNAMENTAL LUMINAIRE FIRE ALARM

RI ENERGY UNDERGROUND 4KV



#### "SP2" NOTES: 1. REFERENCE WORK ORDER #30957818 WHEN COORDINATING WITH RI ENERGY.

PEDESTAL GROUND SYSTEM

NEW RI DOT TYPE B HANDHOLE

SEE ES-501

2. PROVIDE A MILBANK CP3C SERIES SERVICE PEDESTAL WITH ISOLATED UTILITY SECTION AND MAIN BREAKER. PROVIDE SHOP DRAWING SUBMITTAL.

-3-3" PVC SEE X/E-002

-1-3" PVC TO NEAREST

EXISTING TYPE A HANDHOLE, SEE SITE PLAN FOR LOCATION

# NEW PEDESTAL AND PAVILLION ONE LINE DIAGRAM"SP2" ONE LINE DIAGRAM

#### **GENERAL NOTES**

AND ACCEPTED.

- 1. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL AND RHODE ISLAND ELECTRICAL CODES AND OTHER STATE OF RHODE ISLAND REQUIREMENTS AND THE NATIONAL ELECTRICAL SAFETY CODE C2.
- 2. ALL EQUIPMENT AND MATERIALS SHALL BE UL LISTED FOR ITS INTENDED PURPOSE.
- WIRE SIZES SHALL BE BASED ON AMERICAN WIRE GAUGE AS APPLIED TO COPPER CONDUCTORS. THE CONDUCTOR INSULATION SHALL BE XHHW.
- 4. WHERE WIRING IS TO BE REMOVED, RELOCATED OR RECONNECTED, THE CONTRACTOR SHALL TAKE PRECAUTIONS AND ASSUME THAT THE CIRCUIT MAY BE ACTIVE. CONTRACTOR SHALL TEST, VERIFY AND SECURE ALL CIRCUITS BEFORE REMOVAL. UNKNOWN WIRING SHALL BE IDENTIFIED. ANY WIRING TO REMAIN SHALL BE VERIFIED BY THE CONTRACTOR, TAGGED AND IDENTIFIED AS REQUIRED.
- EXISTING ELECTRICAL EQUIPMENT AND WIRING TO REMAIN SHOWN SHALL BE PROTECTED FROM DAMAGE AS REQUIRED DURING THE CONSTRUCTION PERIOD AND LEFT IN GOOD WORKING ORDER AT COMPLETION. ANY EQUIPMENT DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- 6. OWNER AND CODE REQUIRED SYSTEMS THAT ARE REQUIRED TO REMAIN ACTIVE DURING CONSTRUCTION SHALL BE TEMPORARILY WIRED AS REQUIRED TO REMAIN ACTIVE THROUGHOUT THE CONSTRUCTION PERIOD UNTIL NEW SYSTEMS ARE INSTALLED, TESTED
- 7. IN CONDITIONS WHERE IN THE OPINION OF THE CONTRACTOR IT IS NOT CLEAR WHETHER EXISTING ELECTRICAL EQUIPMENT IS TO BE REMOVED OR REMAIN, IT SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR REVIEW AND FINAL DECISION.
- 8. THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THE PLANS WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE LOCATIONS ARE APPROXIMATE ONLY AND IN SOME CASES MAY BE INCOMPLETE. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING SUBSURFACE UTILITIES PRIOR TO ANY EXCAVATION. CONFLICTS WITH CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER FOR DISPOSITION.
- 9. THE CONTRACTOR SHALL MAINTAIN AREAS IN AND AROUND THE WORK ZONE FREE AND CLEAR OF DEBRIS AT ALL TIMES. NO STOCKPILING OF EQUIPMENT OR MATERIAL SHALL BE PERMITTED OUTSIDE OF FIXED WORK ZONES.
- 10. DO NOT EXCEED CABLE MANUFACTURER'S RECOMMENDED TENSION LIMITS WHEN PULLING
- 11. ALL SPARE AND EMPTY CONDUITS SHALL BE STUBBED INTO PADS OR MANHOLES AND CAPPED ON BOTH ENDS TO PREVENT INFILTRATION. PROVIDE NYLON PULL IN LINE IN ALL SPARE CONDUITS. CONDUITS SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE NOTED.
- 12. CUT-OVERS AND ANY INTERRUPTION TO ELECTRICAL SERVICE SHALL BE SCHEDULED WITH
- 13. WHEN PREPARING TO INSTALL FOUNDATIONS, THE CONTRACTOR SHALL CAREFULLY MARK THE PROPOSED LOCATION OF THE CONCRETE FOUNDATION AND THEN SHALL DETERMINE IF ANY UTILITIES, OR UNDERGROUND OR OVERHEAD OBSTRUCTION WILL FOR THE CONDUIT RUNS TO THE FOUNDATION. IF SUCH AN OBSTRUCTION IS EVIDENT, THE CONTRACTOR SHALL REQUEST PERMISSION FROM THE ENGINEER TO MORE OR ADJUST
- 14. THE ELECTRICAL SERVICE TO THE SERVICE PEDESTAL WILL BE PROVIDED BY RHODE ISLAND ENERGY. THE CONTRACTOR SHALL COORDINATE WITH RHODE ISLAND ENERGY FOR SERVICE CONNECTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRIC SERVICE CONNECTIONS AND RELATED FEES FROM RHODE ISLAND ENERGY. THE CONTRACTOR SHALL PROVIDE CONDUIT TO RHODE ISLAND ENERGY DETAILS AND

TERMINATION CABINET 208/120V

1. REFERENCE WORK ORDER #30957805 WHEN COORDINATING WITH RI ENERGY.

2. REFER TO E-300 FOR EXPANDED ONE LINE DIAGRAM.

REFER TO SERVICE

**PAVILLION NOTES:** 

GROUNDING DETAIL E-301

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Brooklyn ny 11201

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Issue	Revisi
100% CD Set	5.10.20
ADDENDUM	6.3.20

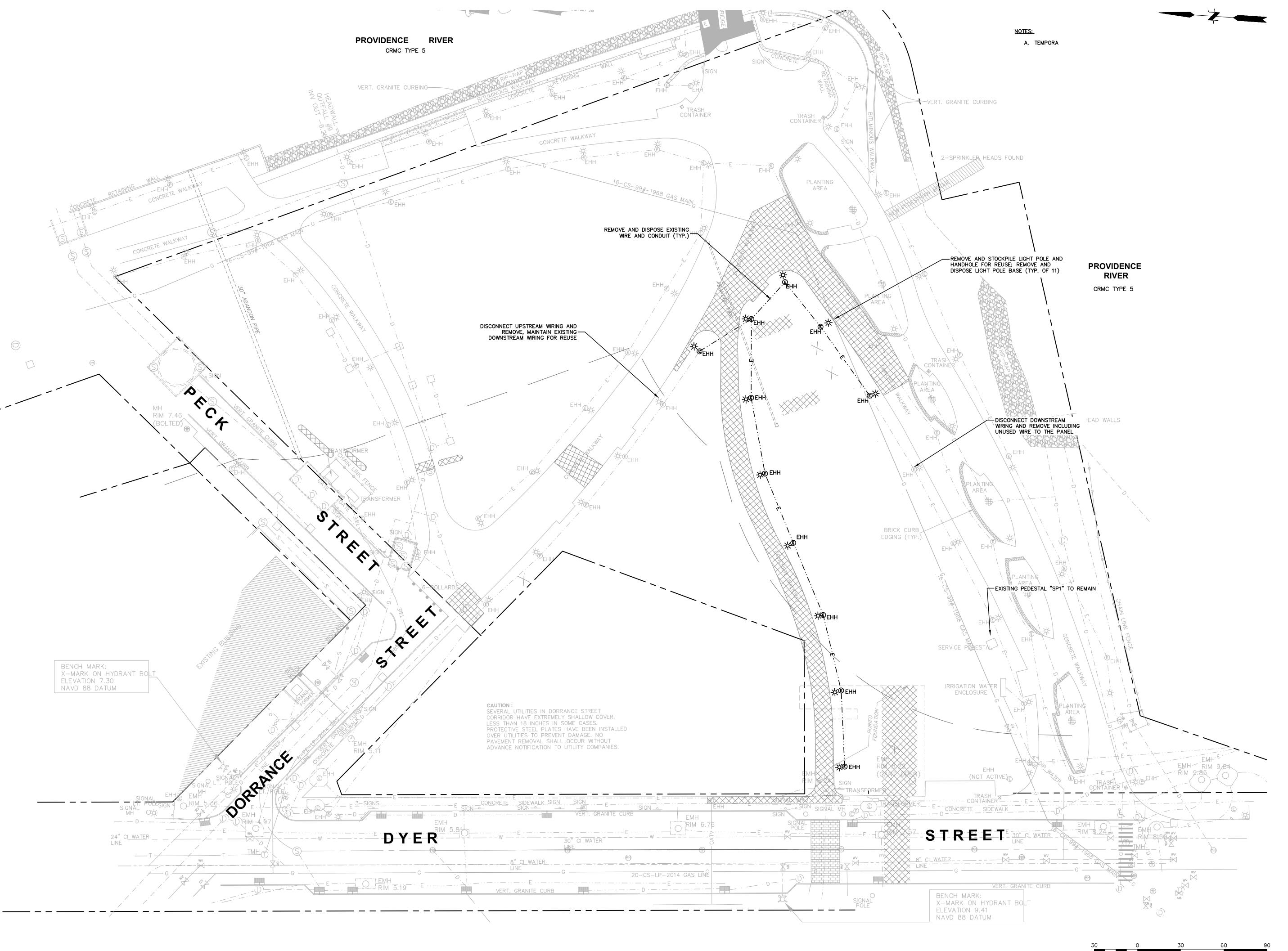
#### 195 District **Park Pavilion**

195 District Park 120 Peck St,

Providence, RI 02903

ELECTRICAL SITE NOTES AND LEGEND

AS NOTED



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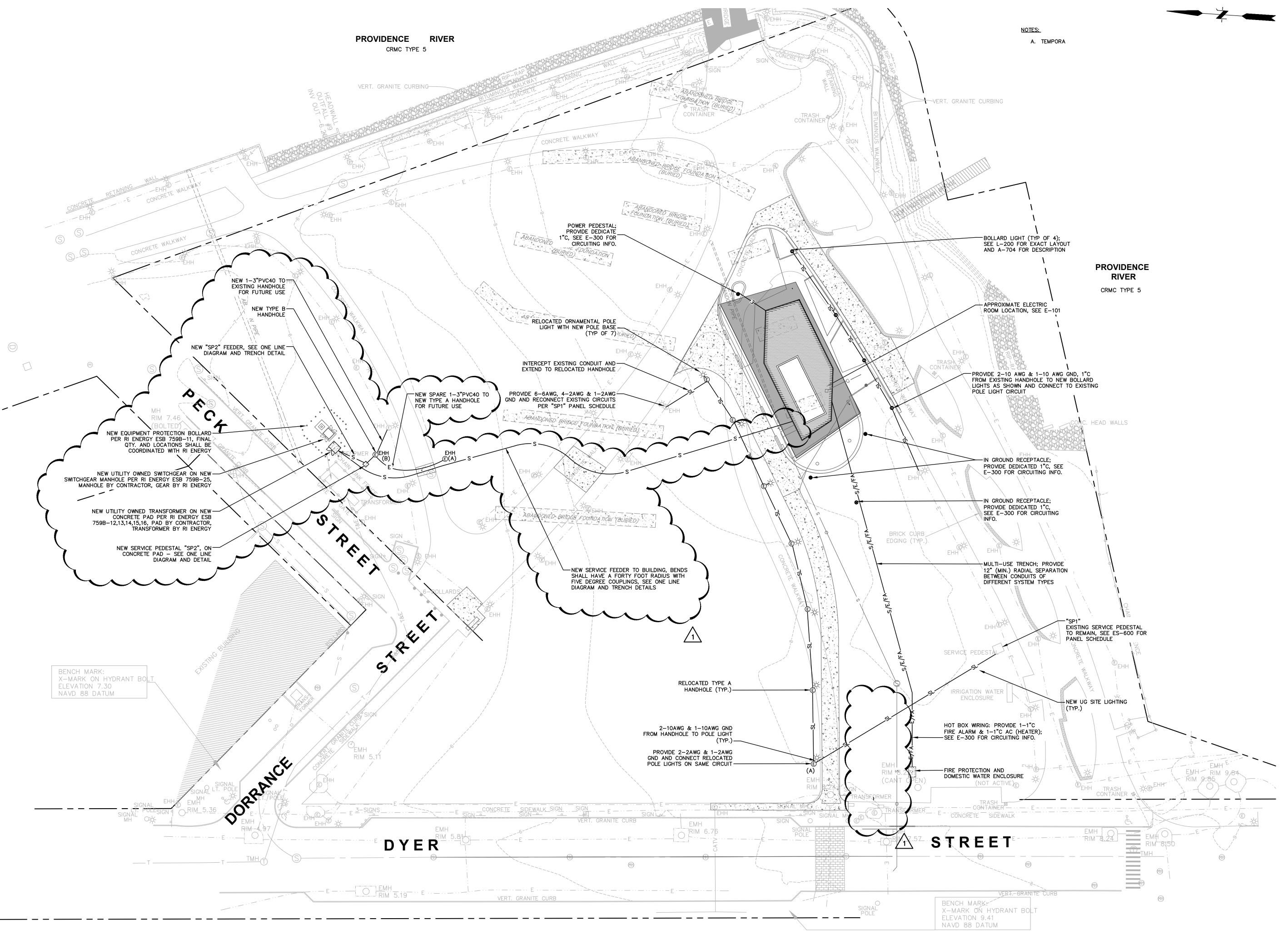
## 195 District **Park Pavilion**

195 District Park 120 Peck St, Providence, RI 02903

SCALE: 1" = 30'

ELECTRICAL SITE DEMOLITION PLAN

ES-100



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Issue	Revision
100% CD Set	5.10.2024
ADDENDUM	6.3.2024

# 195 District Park Pavilion

195 District Park 120 Peck St, Providence, RI 02903

SCALE: 1" = 30

ELECTRICAL SITE
PLAN

 Project
 2214

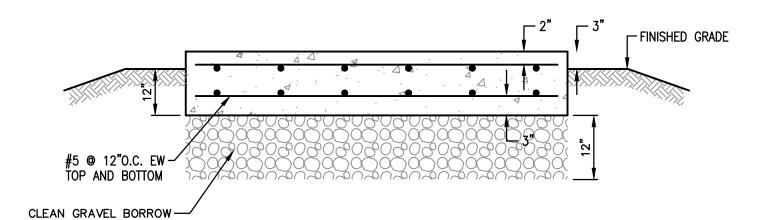
 Drawn by
 Author

 Date
 4.12.2024

 Scale
 1"= 30'

 Sheet

**ES-101** 



- 1. ALL CONCRETE WORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
- 2. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 AND BE DETAILED IN ACCORDANCE WITH ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
- 3. REBARS SHALL HAVE A MINIMUM CONCRETE COVER AS FOLLOWS:
  - CONCRETE DEPOSITED AGAINST GROUND.......3 IN.
  - CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: FOR BARS #5 AND LARGER.....2 IN.
  - FOR BARS SMALLER THAN #5......1 1/2 IN. CONCRETE NOT EXPOSED TO THE WEATHER OR THE GROUND: SLABS AND WALLS......3/4 IN.
- 4. ALL REINFORCING BARS SHALL BE CONTINUOUS AND LAPPED A MINIMUM OF 48 BAR DIAMETERS AT ALL SPLICES, CORNERS, AND INTERSECTIONS UNLESS NOTED OTHERWISE.
- 5. ALL REINFORCEMENT SHALL BE SECURELY TIED IN ITS PROPOSED LOCATION PRIOR TO AND DURING PLACEMENT OF CONCRETE USING APPROVED CHAIRS, SPACERS AND TIE WIRE AS REQUIRED. NO BARS SHALL BE CUT OR OMITTED IN THE FIELD WITHOUT THE APPROVAL OF THE ENGINEER.
- 6. CONCRETE PROTECTION FOR REINFORCEMENT SHALL IN ALL CASES BE AT LEAST EQUAL TO THE DIAMETER OF THE BAR EXCEPT FOR CONCRETE SLABS.
- 7. ALL CONCRETE SHALL BE CAST-IN-PLACE, NORMAL WEIGHT CONCRETE AND SHALL DEVELOP A COMPRESSIVE STRENGTH OF 4,000 PSI IN 28 DAYS. CONCRETE SHALL HAVE A MAXIMUM AGGREGATE SIZE OF 3/4 INCH, A MINIMUM CEMENT CONTENT OF 560 LBS/CU. YD., AND A MAXIMUM SLUMP OF 4 INCHES. 14. CONCRETE SHALL BE CLASS XX IN ACCORDANCE WITH SECTION 601 OF THE RIDOT STANDARD SPECIFICATIONS.
- 8. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A 3/4 INCH CHAMFER UNLESS NOTED.
- 9. GRAVEL BORROW SHALL BE IN ACCORDANCE WITH SECTION M.01.09, TABLE 1, COLUMN 1A.
- 10. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED.
- 11. SIZES AND LOCATIONS OF ALL REQUIRED EMBEDDED ITEMS FOR ALL TRADES SUCH AS ANCHOR BOLTS, PIPING SLEEVES, HOLDOWN ANCHORS, ETC., SHALL BE COORDINATED BY THE CONTRACTOR WITH OTHER TRADES.

NUMBER OF

AS INDICATED -

CONDUITS

(2) #4 REBAR

GROUND

IN RÖOF SLAB→

NUMBER OF

CONDUITS AS INDICATED -

FINISHED GRADE-

GROUND

CONNECTOR —

END BELL -

#6cu. BARE

WIRE WITH 5'

1"ø CRUSHED STONE-

2" SAND FILL

GROUND

#4 REBARS @ 12" O.C. VERTICAL

© BEND AROUND CORNERS

4 REBARS @ 10" O.C. HORIZONTAL

 $\sim$  (2) #5 TOP AND BOTTOM

1. COVER TO HAVE NON-SLIP

2. FRAME AND COVER TO BE

PROVIDED WITH GROUND

WORD "ELECTRIC".

BE 3".

DIAMOND SURFACE AND THE

CONNECTOR (FASTENED WITH

HOLE) AND WELDED NUT. BOND

BOTH ITEMS TO GROUND ROD

USING #6cu. BARE CONDUCTOR.

MAX. ADJUSTMENT FOR COVER

TO FINISHED GRADE SHALL

3. 3/8-16 THREADS INTO BLIND

ÀROUND OPENING

-GROUND ROD

- PULLING IN IRON

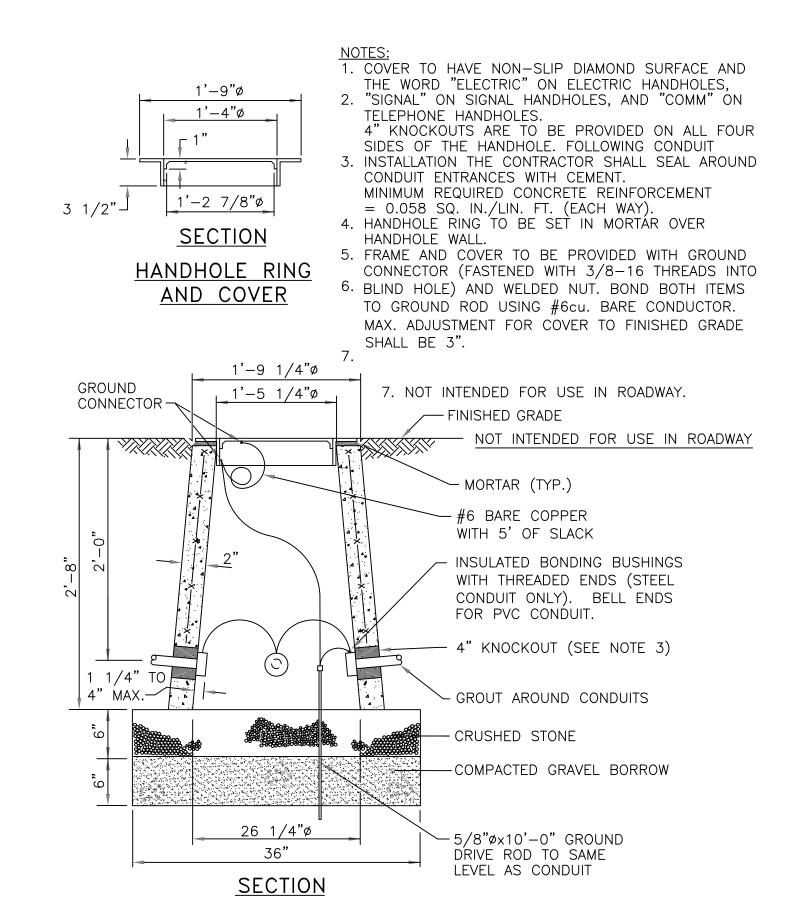
FRAME AND COVER

← GROUNDING ROD

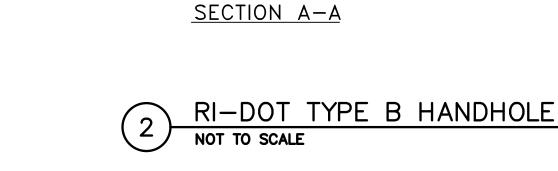
-SET FRAME IN MORTAR

BED OVER MANHOLE

# SERVICE PEDESTAL PAD DETAIL

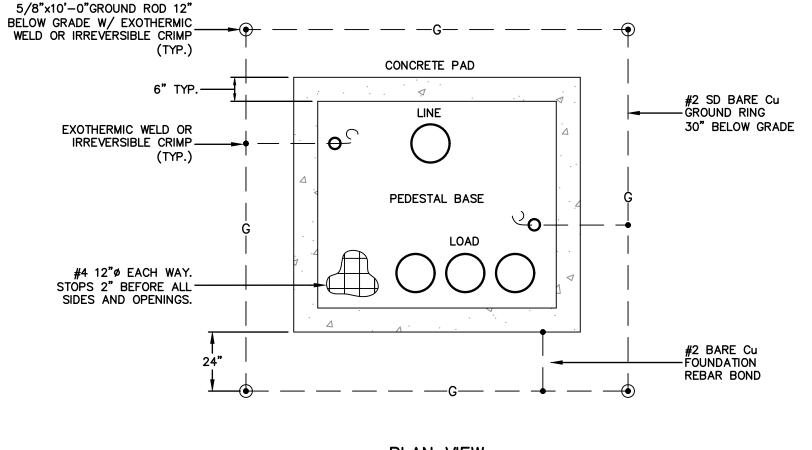


RI DOT TYPE A HANDHOLE

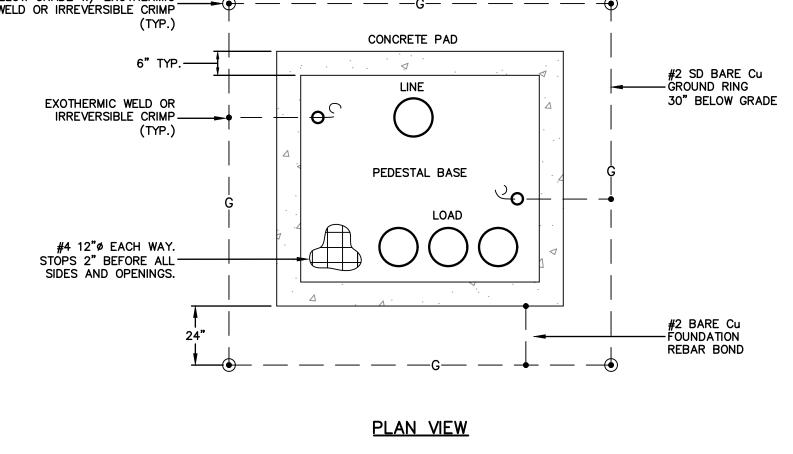


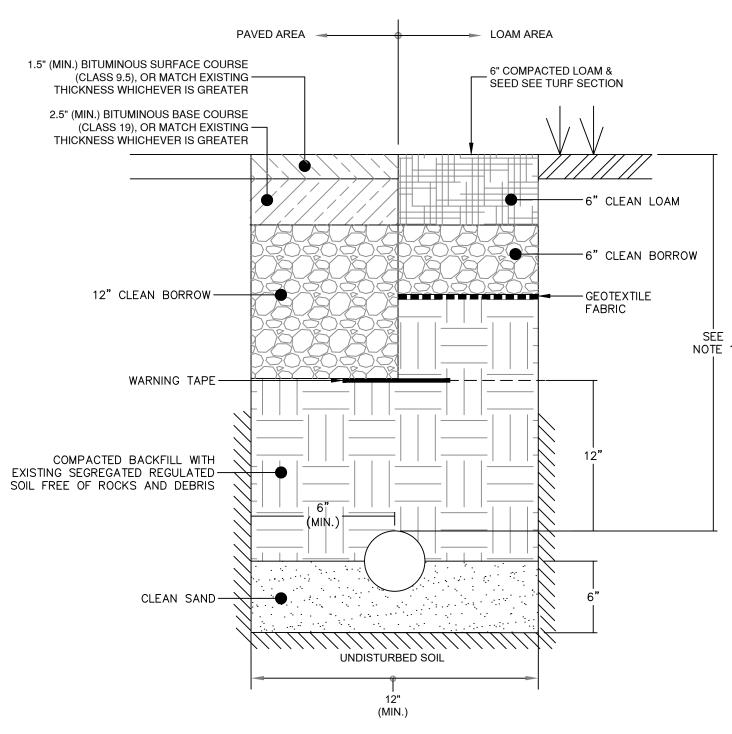
KEY 2'-1, 3/8"

PULLING



SERVICE PEDESTAL GROUNDING PLAN





## 1. ALL DEPTHS AND RESULTING COVER REQUIREMENTS ARE MEASURED FROM TOP OF DUCT TO FINAL GRADE:

- DATA/COMMUNICATION: 18 INCHES
- BRANCH CIRCUITS (<1000V): 24 INCHES</li>
- FEEDERS (1000V): 30 INCHES MEDIUM VOLTAGE (>1000V): 36 INCHES
- 2. TWO SWEEPS EQUAL IN RADIUS TO THE DEPTH OF COVERAGE SHALL BE ALLOWED IN THE CONDUIT LINE, ALL OTHER BENDS SHALL BE MADE WITH 5-DEGREE COUPLINGS WITH A MINIMUM OF 42 INCHES BETWEEN EACH COUPLING AND THE RADIUS OF CURVATURE SHALL NOT BE LESS THAN 40 FEET.
- 3. BACKFILL EVENLY WITH CLEAN DRY NATIVE EARTH (NO ROCKS) OR BORROW AND MECHANICALLY TAMP IN 12" LIFTS.
- 4. SHALL BE IN ACCORDANCE WITH SECTION T.06 OF THE RI STANDARD SPECIFICATIONS.
- 5. RESTORED LANDSCAPE REMEDIATION CAP USING SEGREGATED EXISTING LANDSCAPE REMEDIATION CAP MATERIALS PLACED IN A MANNER MAINTAINING ORIGINAL STRATIGRAPHY, OR NEW IMPORTED CLEAN FILL.



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ssue	Revision
00% CD Set	5.10.2024
ADDENDUM	6.3.2024

## 195 District **Park Pavilion**

Providence, RI 02903

195 District Park 120 Peck St,

Drawing **ELECTRICAL SITE DETAILS** 

4.12.2024 AS NOTED

5			PA	NEL: S	P1-'S	WITCH	ED'			-1
LOCATION: WEST SIDE PARK			BRANCH: NORMAL					DESCRIPTION: PANEL CONTROLLED BY CONTACTOR		
SER	VICE - 120V/240V, 1PH, 3W + G	}		BUS CAP: 225A					ENCLOSURE: NEMA-1	
AIC	RATING: 22000 A			MAIN: MAIN L			LUG ONLY		MOUNTING: SURFACE	
CKT	LOAD DESCRIPTION	VA - A	VA-B	СВ	PH	СВ	VA - A	VA-B	LOAD DESCRIPTION	CKT
1	LIGHTING - SHIP ST WALK SOUTH	720		20/1	Α	20/1	360		LIGHTING - DYRE ST WALK	2
3	LIGHTING - SHIP ST WALK EAST		420	20/1	В	20/1		420	LIGHTING - SHIP ST WALK MEDIAN	4
5	LIGHTING - EASTSIDE OF PROM	360		20/1	Α	20/1	360		LIGHTING - PARK PROMENADE	6
7	LIGHTING - SHIP ST WALK NORTHSIDE		420	20/1	В	20/1		480	LIGHTING - PARK PROMENADE	8
9	LIGHTING - PECK ST WALK	360		20/1	Α	20/1	300		LIGHTING - SHIP ST WALK NORTHEAST	10
11				20/1	В	20/1				12
13				20/1	Α	20/1				14
15				20/1	В	20/1				16
17				20/1	Α	20/1				18
19				20/1	В	20/1				20
21				20/1	Α	20/1				22
23				20/1	В	20/1				24
25				20/1	Α	20/1				26
27				20/1	В	20/1				28
29				20/1	Α	20/1				30
	SUBTOTALS (VA)	1440	840				1020	900		
94	SWITCHED TOTALS KVA		AMDO							
18	PHASE-A 2.5	r —	AMPS	CIAST	CHED	TOTAL:	4.20	K//A	17 F A	
			20.5		CHED	TOTAL	4.20	·KVA	17.5-A	
	PHASE-B 1.7	·	14.5							

			PAN	EL: SP	1-'UN	SWITC	HED'			
LOC	ATION: WEST SIDE PARK			BRA	ANCH:	NORM	AL		DESCRIPTION: UNSWITCHED P	ANEL
SER	VICE - 120V/240V, 1PH, 3W + 0	3		BUS	CAP:	225A			ENCLOSURE: NEMA-1	
AIC	RATING: 22000 A						MOUNTING: SURFACE			
CKT	LOAD DESCRIPTION	VA - A	VA-B	CB	PH	CB	VA - A	VA-B	LOAD DESCRIPTION	СКТ
1	POLE RECEP. CIRCUIT 1	180		20/1	Α	20/1	180		POLE RECEP. CIRCUIT 2	2
3	POLE RECEP. CIRCUIT 3		180	20/1	В	20/1		180	POLE RECEP. CIRCUIT 4	4
5	POLE RECEP. CIRCUIT 5	180		20/1	Α	20/1	180		POLE RECEP. CIRCUIT 6	6
7	POLE RECEP. CIRCUIT 7		180	20/1	В	20/1		180	CABINET RECEPTACLE	8
9	CABINET LIGHT	100		20/1	Α	20/1				10
11	IRRIGATION CONTROLLER		300	20/1	В	20/1				12
13				20/1	Α	20/1				14
15				20/1	В	20/1				16
17				20/1	Α	20/1				18
19				20/1	В	20/1				20
21				20/1	Α	20/1				22
23				20/1	В	30/1				24
25				20/1	Α	20/1				26
27				20/1	В	20/1				28
29				20/1	Α	20/1				30
	SUBTOTALS (VA)	460	660				360	360		
UN	SWITCHED TOTALS KVA		AMPS							
	PHASE-A 0.8		6.8							
	PHASE-B 1.0		8.5							
	TOTAL CONNECTED (THIS TUB	): 2-KV	A, 7.7-	Α						

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Revision
5.10.2024
6.3.2024

# 195 District Park Pavilion

195 District Park 120 Peck St, Providence, RI 02903 Drawing

ELECTRICAL SITE SCHEDULES

 Project
 2214

 Drawn by
 Author

 Date
 4.12.2024

 Scale
 AS NOTED

FS-600